

Home Inspection Report



Street Address, City, MN 56329

Inspection Date:

Sunday July 29, 2018

Prepared For:

Client Name

Prepared By:

Family Dwelling
(414) 563-7110
edugal@familydwelling.net

Report Number:

20180729-01

Inspector:

Eric Dugal

Report Overview

Scope of Inspection

All components designated for inspection in the ASHI Standards of Practice are inspected, except as may be noted in the "Limitations of Inspection" sections within this report. It is the goal of the inspection to put a home buyer in a better position to make a buying decision. Not all improvements will be identified during this inspection. Unexpected repairs should still be anticipated. The inspection should not be considered a guarantee or warranty of any kind. Please refer to the pre-inspection contract for a full explanation of the scope of the inspection.

Visual Inspection Only

Main Entrance Faces

East

State of Occupancy

Occupied

Weather Conditions

Sunny
Cloudy

Outside Temperature

71° - 80°

Recent Rain

No

Ground Cover

Dry

Approximate Age

Older Home (35 +)

Report Summary

Major Concerns

None apparent

Potential Safety Hazards

Recommend a licensed professional evaluate and properly bond the fuel entry pipe.
Recommend a licensed professional evaluate and properly ground the water entry pipe.

Deferred Cost Items

A/C that is 7+ years.

Items Not Operating

Bathroom window(s) not operated due to winterizing plastic. Recommend monitoring for proper operation.

Improvement/ Maintenance Items

Soil to close to siding to prevent damage to siding/framing recommend a clearance of 6-8" to grading be maintained
Siding had some damage recommend repair

Items To Monitor

None apparent

Exclusions

Bathroom under construction. Not evaluated.
Access was blocked. Garage attic was not reviewed.

Grounds

Service Walks

None Not Visible Grounds visibility limited due to snow covered

Material Concrete Stone Gravel Brick Other: .

Condition Satisfactory Marginal Poor Trip hazard Typical cracks Pitched towards home
 Settling cracks Public sidewalk needs repair Recommend Repair

Comments

Service Walks (Rear/Side of home)

None Not Visible

Material Concrete Stone Gravel Brick Other: .

Condition Satisfactory Marginal Poor Trip hazard Typical cracks Pitched towards home
 Settling cracks Public sidewalk needs repair Recommend Repair

Comments

Driveway/Parking

None Not Visible

Material Concrete Asphalt Gravel/Dirt Brick Other: .

Condition Satisfactory Marginal Poor Settling Cracks Typical cracks Pitched towards home
 Trip hazard Fill cracks and seal Recommend Repair

Comments

Porch

None Not Visible

Condition Satisfactory Marginal Poor Railing/Balusters recommended
 For enhanced safety recommend 4" max spacing between balusters

Support Pier Concrete Wood Other: .

Floor Satisfactory Marginal Poor Safety Hazard
 Floor boards damaged/wood rot recommend repair Recommend painting floor boards

Comments

Porch (Rear/Side of home)

None Not Visible

Condition Satisfactory Marginal Poor Railing/Balusters recommended
 For enhanced safety recommend 4" max spacing between balusters

Support Pier Concrete Wood Other: .

Floor Satisfactory Marginal Poor Safety Hazard
 Floor boards damaged/wood rot recommend repair Recommend painting floor boards

Comments

Photos

Grounds



For enhanced safety recommend 4" max spacing between balusters.

Deck

None Not Visible

Material Wood Metal Composite Railing/Balusters recommended

Condition Satisfactory Marginal Poor Wood in contact with soil Recommend Repair
 Monitor wood for rot

Finish Treated Painted/Stained Other: Safety Hazard Improper attachment to house
 Railing loose Not Applicable Recommend staining/painting deck

Comments

Grading affecting foundation

N/A Grading visibility limited due to snow covered

Negative Grade East West North South Satisfactory Recommend additional backfill
 Recommend window wells/covers Recommend trimming back trees/vegetation
 Siding in contact with/improper clearance to soil
 Recommend maintaining a positive drainage slope away from foundation

Comments Soil to close to siding to prevent damage to siding/framing recommend a clearance of 6-8" to grading be maintained

Photos



Soil to close to siding to prevent damage to siding/framing recommend a clearance of 6-8" to grading be maintained.

Grounds

Hose bib

N/A

Location North South East West

Condition Satisfactory Marginal Poor No anti-siphon valve Recommend Anti-siphon valve

Operable Yes No Not Tested Not On

Comments

Stoops/Steps

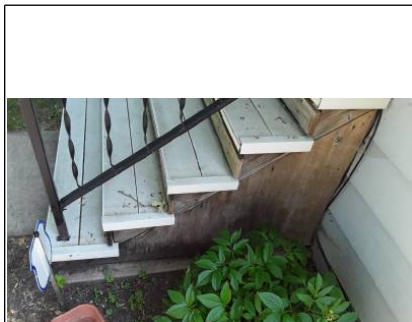
None

Material Concrete Wood Other: Railing/Balusters recommended

Condition Satisfactory Marginal Poor Safety Hazard Uneven risers Rotted/Damaged
 Cracked Settled Recommend Repair

Comments Damaged wood on steps, recommend repair and/ replacement

Photos



Damaged/ rotted wood on steps,
recommend repair and/
replacement.

Stoops/Steps (Rear/Side of home)

None

Material Concrete Wood Other: Railing/Balusters recommended

Condition Satisfactory Marginal Poor Safety Hazard Uneven risers Rotted/Damaged
 Cracked Settled Recommend Repair

Comments

Exterior

Gutters

- None Gutter visibility limited due to snow covered Not Evaluated
Condition Satisfactory Marginal Poor Rusting Downspouts needed Recommend repair/replace
 Needs to be cleaned Recommend adding additional downspouts
Material Copper Vinyl/Plastic Galvanized/Aluminum Other: .
Leaking Corners Joints Hole in main run No apparent leaks
Attachment Loose Missing spikes Improperly sloped Satisfactory
Extension needed North South East West N/A

Comments

Siding

- Material** Stone Slate Block/Brick Fiberboard Fiber-cement Stucco EIFS* Not Inspected
 Asphalt Wood Metal/Vinyl Other: . Typical cracks Peeling paint Monitor Wood rot
 Loose/Missing/Holes Not Evaluated
Condition Satisfactory Marginal Poor Recommend repair/painting

Comments

Trim

- Material** Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: . Not Evaluated
Condition Satisfactory Marginal Poor Recommend repair/replacement of damaged wood

Comments

Soffit

- None Not Evaluated
Material Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: .
Condition Satisfactory Marginal Poor

Comments

Fascia

- None Not Evaluated
Material Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: .
Condition Satisfactory Marginal Poor

Comments

Flashing

- None Not Evaluated
Material Wood Fiberboard Aluminum/Steel Vinyl Stucco Recommend repair/painting
 Damaged wood Other: .
Condition Satisfactory Marginal Poor No visible flashings above doors/windows

Comments

Caulking

- None
Condition Satisfactory Marginal Poor

Exterior

Caulking cont.

Condition cont. Recommend around windows/doors/masonry ledges/corners/utility penetrations

Comments

Windows/Screens

Condition Satisfactory Marginal Poor Wood rot Recommend repair and/or painting
 Recommend repair/replace damaged screens Failed/fogged insulated glass
 Rust on metal windows, recommend painting

Material Wood Metal Aluminum/Vinyl

Screens Torn Bent Not installed Satisfactory

Comments

Storms Windows

None Not installed

Condition Satisfactory Broken/cracked Wood rot Recommend repair/painting

Material Wood Clad comb. Wood/Metal comb. Metal

Putty Satisfactory Needed N/A

Comments

Foundation (Visible portion of foundation wall on exterior)

Foundation Wall Concrete block Poured concrete Not Visible Other: .

Condition Satisfactory Marginal Monitor Have Evaluated Not Evaluated
 Recommend sealing crack(s) and monitoring

Comments

Service Entry (Electrical)

Location Underground Overhead

Condition Satisfactory Marginal Poor Weather head/mast needs repair Overhead wires too low
 Recommend a qualified electrician evaluate/repair

Exterior receptacles Yes No Operable: Yes No Condition: Satisfactory Marginal Poor
 Outlet on front of home doesn't work recommend repair
 Outlet on back of home doesn't work recommend repair
 Outlet on side of home doesn't work recommend repair

GFCI present Yes No Operable: Yes No Safety Hazard Reverse polarity Open ground(s)
 Recommend GFCI Receptacles

Comments

Building(s) Exterior Wall Construction

Type Not Visible Framed Masonry Other: .

Condition Not Visible Satisfactory Marginal Poor

Comments

Exterior Doors

Main Entrance N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor

Patio N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor

Rear door N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:

Exterior

Exterior Doors cont.

Rear door N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Marginal Poor

Other door N/A Weatherstripping: Satisfactory Marginal Poor Missing Replace Door condition:
 Satisfactory Marginal Poor

Comments

Exterior A/C - Heat pump #1

Unit #1 N/A Exterior A/C - Heat pump visibility limited due to snow covered

Location:South

Brand:Goodman

Model #: GSC130301AA

Serial #: 0607210595

Approximate Age: 10-15+

Condition Satisfactory Marginal Poor Cabinet/housing rusted Recommend cleaning condenser fins

Energy source Electric Gas Other: .

Unit type Air cooled Water cooled Geothermal Heat pump

Outside Disconnect Yes No Maximum fuse/breaker rating (amps): 30 Improperly sized fuses/breakers

Level Yes No Recommend re-level unit

Condenser Fins Damaged Need cleaning Damaged base/pad Damaged Refrigerant Line Satisfactory

Insulation Yes No Replace

Proper Clearance (air flow) Yes No Recommend keeping vegetation clear of unit

Comments

Roof

General

- Visibility** None All Partial
 Visibility limited due to roof pitch Roof visibility limited due to snow covered
- Inspected From** Roof Ladder at eaves Ground With Binoculars
 Not Evaluated

Style of Roof

- Type** Gable Hip Mansard Shed Flat Gambrel
- Pitch** Low Medium Steep Flat
- Roof #1** Type:Asphalt
 Layers:Unknown
 1 Layer
 Age:1-5+

Comments

Ventilation System

- None N/A
- Type** Soffit Ridge Gable Roof Turbine Powered Other: .

Comments

Flashing

- Material** Not Visible Galv/Alum Asphalt Copper Foam Rubber Lead Other: .
 Not Evaluated
- Condition** Not Visible Satisfactory Marginal Poor Rusted Missing
 Separated from chimney/roof Recommend sealing nail heads Recommend repair/or replacement
 Recommend replacing plumbing stack flashing Flashing around chimney improperly installed.
 Flashing(s) improperly installed recommend repair by qualified roofer Damaged Not Evaluated

Comments

Valleys

- N/A Not Evaluated
- Material** Not Visible Galv/Alum Asphalt Lead Copper Other: .
- Condition** Not Visible Satisfactory Marginal Poor Holes Rusted Recommend Sealing

Comments

Condition of Roof Coverings

- Roof #1** Satisfactory Marginal Poor Curling Cracking Ponding Burn Spots
 Broken/Loose Tiles/Shingles Nail popping Granules missing Alligating Blistering
 Missing Tabs/Shingles/Tiles Moss buildup Exposed felt Cupping
 Incomplete/Improper Nailing Recommend roofer evaluate Evidence of Leakage
 Not Evaluated

Comments

Plumbing Vents

- Not Visible Not Present
- Condition** Satisfactory Marginal Poor Damaged Recommend qualified plumber repair

Comments

Garage/Carport

Type

 None

Type Attached Detached 1-Car 2-Car 3-Car 4-Car

Comments

Attic/Structure/Framing/Insulation

 N/A

Access Stairs Pulldown Scuttlehole/Hatch No Access Other: .

Inspected from Access panel In the attic Other

Location Hallway Bedroom Closet Garage Other Access limited by:

Flooring Complete Partial None

Insulation Fiberglass Batts Loose Cellulose Foam Other Vermiculite Rock wool
Depth: Damaged Displaced Missing Compressed Recommend additional insulation

Installed in Rafters/Trusses Walls Between ceiling joists Underside of roof deck Not Visible

Vapor barriers Kraft/foil faced Plastic sheeting Not Visible Improperly installed Recommend repair

Ventilation Ventilation appears adequate Recommend additional ventilation Recommend baffles at eaves

Fans exhausted to Attic: Yes No Recommend repair Outside: Yes No Not Visible

HVAC Duct N/A Satisfactory Damaged Split Disconnected Leaking Repair/Replace
 Recommend Insulation

Chimney chase N/A Satisfactory Needs repair Not Visible

Structural problems observed Yes No Recommend repair Recommend structural engineer

Roof structure Rafters Trusses Wood Metal Collar ties Purlins Knee wall Not Visible Other: .

Ceiling joists Wood Metal Not Visible

Sheathing Plywood OSB Planking Rotted Stained Delaminated

Evidence of condensation Yes No

Evidence of moisture Yes No

Evidence of leaking Yes No Recommend repair

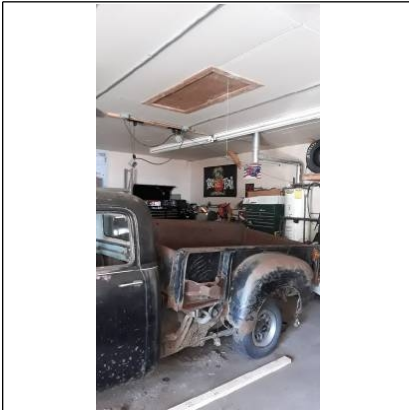
Firewall between units N/A Yes No Needs repair/sealing

Electrical No apparent defects Open junction box(es) Handyman wiring
 Knob and tube covered with insulation Safety Hazard Amateur wiring recommend repair
 Recommend repair

Comments Access was blocked. Garage attic was not reviewed.

Photos

Garage/Carport



Access was blocked. Garage attic was not reviewed. Recommend evaluating once it can be accessed.

Automatic Opener

None N/A

Operation Operable Inoperable Recommend repair

Comments

Safety Reverse

None N/A

Operation Operable Not Operable Pressure reverse need(s) adjusting Safety hazard
 Photo eyes and pressure reverse tested Recommend repair Recommend adjusting photo eyes

Comments

Roofing

Material Same as house

Type: Metal

Approx. age: Unknown Approx. layers: 1

Comments

Siding

N/A

Material Same as house Wood Metal Vinyl Stucco Masonry Slate Fiberboard

Condition Satisfactory Marginal Poor Recommend repair/replace Recommend painting

Comments Siding had some damage recommend repair

Photos

Garage/Carport



Siding had some damage
recommend repair.

Trim

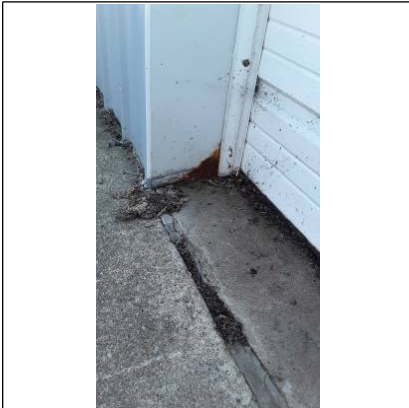
N/A

Material Same as house Wood Aluminum Vinyl

Condition Satisfactory Marginal Poor Recommend repair/replace Recommend painting

Comments Siding was in need of normal maintenance repairs.

Photos



Siding had some damage
recommend repair.

Floor

Material Concrete Gravel Asphalt Dirt Other: .

Condition Satisfactory Typical cracks Large settling cracks Recommend evaluation/repair
 Safety hazard

Comments

Sill Plates

None Not Visible

Type Floor level Elevated

Condition Rotted/Damaged Recommend repair No apparent defects

Comments

Overhead Door(s)

N/A

Garage/Carport

Overhead Door(s) cont.

- Material** Wood Fiberglass Masonite Metal
- Condition** Satisfactory Marginal Poor Hardware loose Safety Cable Recommended
 Weatherstripping missing/damaged Loose/missing Recommend repair

Comments

Exterior Service Door

- None
- Condition** Satisfactory Marginal Poor Damaged/Rusted Recommend repair

Comments

Electrical Receptacles

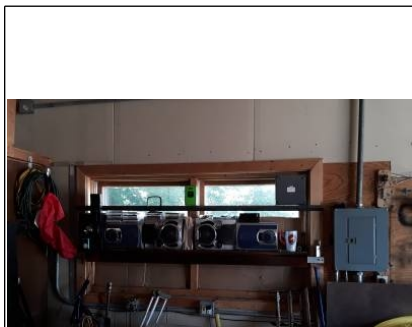
- Yes No Not Visible Operable: Yes No
- Reverse polarity** Yes No
- Open ground** Yes No Safety Hazard
- GFCI Present** Yes No Operable: Yes No Handyman/extension cord wiring
 Recommend GFCI Receptacles Amateur wiring recommend repair
 Missing cover plate(s) on outlets, recommend installing

Comments

Windows

- Windows** None Satisfactory Marginal Poor Cracked glass Evidence of leaking glass
 Broken/missing hardware Windows not operating recommend repair Not Operated

Photos



Not operated due to home owners belongings.

Fire Separation Walls & Ceiling

- N/A Present Missing Recommend repair
- Condition** Satisfactory Recommend repair Holes walls/ceiling Safety hazard(s)
- Moisture Stains Present** Yes No Recommend monitoring not active at time of inspection
- Typical Cracks** Yes No
- Fire door** Not verifiable Not a fire door Needs repair Satisfactory

Comments

Interior

Attic/Structure/Framing/Insulation

- N/A
- Access** Stairs Pulldown Scuttlehole/Hatch No Access Other: .
- Inspected from** Access panel In the attic Other
- Location** Hallway Bedroom Closet Garage Other Access limited by:
- Flooring** Complete Partial None
- Insulation** Fiberglass Batts Loose Cellulose Foam Other Vermiculite Rock wool
Depth: 7" Damaged Displaced Missing Compressed Recommend additional insulation
- Installed in** Rafters/Trusses Walls Between ceiling joists Underside of roof deck Not Visible
- Vapor barriers** Kraft/foil faced Plastic sheeting Not Visible Improperly installed Recommend repair
- Ventilation** Ventilation appears adequate Recommend additional ventilation Recommend baffles at eaves
- Fans exhausted to** Attic: Yes No Recommend repair Outside: Yes No Not Visible
- HVAC Duct** N/A Satisfactory Damaged Split Disconnected Leaking Repair/Replace
 Recommend Insulation
- Chimney chase** N/A Satisfactory Needs repair Not Visible
- Structural problems observed** Yes No Recommend repair Recommend structural engineer
- Roof structure** Rafters Trusses Wood Metal Collar ties Purlins Knee wall Not Visible Other: .
- Ceiling joists** Wood Metal Not Visible
- Sheathing** Plywood OSB Planking Rotted Stained Delaminated
- Evidence of condensation** Yes No
- Evidence of moisture** Yes No
- Evidence of leaking** Yes No Recommend repair
- Firewall between units** N/A Yes No Needs repair/sealing
- Electrical** No apparent defects Open junction box(es) Handyman wiring
 Knob and tube covered with insulation Safety Hazard Amateur wiring recommend repair
 Recommend repair

Comments

Stairs/Steps/Balconies

- None
- Condition** Satisfactory Marginal Poor Loose/Missing
- Handrail** Satisfactory Marginal Poor Safety hazard Hand Rail/Railing/Balusters recommended
 Recommend repair
- Risers/Treads** Satisfactory Marginal Poor Risers/Treads uneven Trip hazard Recommend repair

Comments

Smoke/Carbon Monoxide detectors

- Smoke Detector** Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard
- CO Detector** Present Not Present Operable: Yes No Not tested Recommend additional
 Safety Hazard

Comments

Bathroom (1)

Bath

Location Second floor bath

Sinks Faucet leaks: Yes No Pipes leak: Yes No

Tubs N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Showers N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Toilet Bowl loose: Yes No Operable: Yes No Cracked bowl Toilet leaks
 Recommend repair

Whirlpool Yes No Operable: Yes No Not tested No access door GFCI: Yes No
 GFCI Recommended

Shower/Tub area Ceramic/Plastic Fiberglass Masonite Other: Condition: Satisfactory Marginal
 Poor Rotted floors Caulk/Grouting needed: Yes No
 Where: Around tub/ shower.
 N/A

Drainage Satisfactory Marginal Poor

Water flow Satisfactory Marginal Poor

Moisture stains present Yes No Walls Ceilings Cabinetry

Doors Satisfactory Marginal Poor Recommend repair

Window None Satisfactory Marginal Poor Recommend repair Not Operated

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI

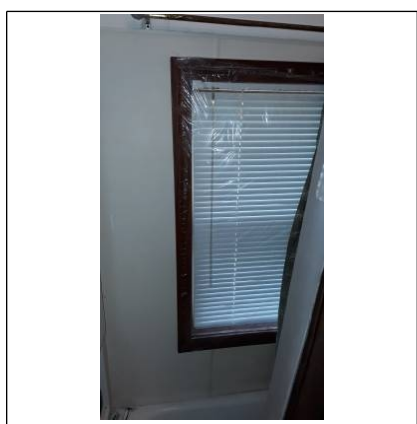
Open ground/Reverse polarity Yes No Potential Safety Hazard

Heat source present Yes No

Exhaust fan Yes No Operable: Yes No Noisy Recommend installing exhaust fan
 Recommend repair

Comments Window(s) not operated due to winterizing plastic. Recommend monitoring for proper operation.
 Door would not close completely. Recommend repair as necessary.

Photos



Window(s) not operated due to winterizing plastic. Recommend monitoring for proper operation.

Bathroom (2)

Bath

N/A Not Evaluated

Location Basement bath

Sinks Faucet leaks: Yes No Pipes leak: Yes No

Tubs N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Showers N/A Faucet leaks: Yes No Pipes leak: Yes No Not Visible

Toilet Bowl loose: Yes No Operable: Yes No Cracked bowl Toilet leaks
 Recommend repair

Whirlpool Yes No Operable: Yes No Not tested No access door GFCI: Yes No
 GFCI Recommended

Shower/Tub area Ceramic/Plastic Fiberglass Masonite Other: Condition: Satisfactory Marginal
 Poor Rotted floors Caulk/Grouting needed: Yes No
Where:
 N/A

Drainage Satisfactory Marginal Poor

Water flow Satisfactory Marginal Poor

Moisture stains present Yes No Walls Ceilings Cabinetry

Doors Satisfactory Marginal Poor Recommend repair

Window None Satisfactory Marginal Poor Recommend repair

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI

Open ground/Reverse polarity Yes No Potential Safety Hazard

Heat source present Yes No

Exhaust fan Yes No Operable: Yes No Noisy Recommend installing exhaust fan
 Recommend repair

Comments Bathroom under construction. Not evaluated.

Photos



Bathroom under construction. Not evaluated.



Bathroom under construction. Not evaluated.

Living Room

Living Room

Location First floor
SW

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage Recommend repair

Moisture stains Yes No

Where:

Recommend monitoring

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard
 Damaged floor recommend repair

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Switches Operable: Yes No Receptacles: Yes No
Receptacles Operable: Yes No Open Ground/ Reverse Polarity: Yes No Safety Hazard
 Cover Plates Missing Some switches/outlets not working recommend repair

Heating source present Yes No Holes: Doors Walls Ceilings

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware
 Recommend repair

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware Windows not operating recommend repair

Comments

Room (1)

Room

Location Second floor
NW

Type BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage Recommend repair

Moisture stains Yes No

Where: Closet

Recommend monitoring for future leaks

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard Recommend repair

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing
 Some outlets/switches not working recommend repair

Heating source present Yes No Holes: Doors Walls Ceilings

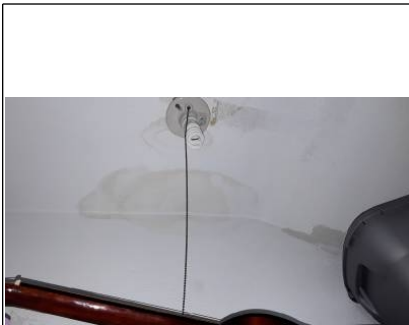
Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware
 Recommend repair

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware Window not operating recommend repair

Comments

Photos



Signs of moisture leaks. Moisture meter showed it was dry at the time of the inspection. Recommend monitoring for potential future leaks.

Room (2)

Room

Location Second floor
West

Type MASTER BEDROOM

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage Recommend repair

Moisture stains Yes No

Where:

Recommend monitoring for future leaks

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard Recommend repair

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing
 Some outlets/switches not working recommend repair

Heating source present Yes No Holes: Doors Walls Ceilings

Bedroom Egress restricted N/A Yes No

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware
 Recommend repair

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware Window not operating recommend repair

Comments

Room (3)

Room	
Location	Second floor South
Type	BEDROOM
Walls & Ceiling	<input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal <input type="checkbox"/> Poor <input type="checkbox"/> Typical cracks <input type="checkbox"/> Damage <input type="checkbox"/> Recommend repair
Moisture stains	<input type="checkbox"/> Yes <input checked="" type="checkbox"/> No Where: <input type="checkbox"/> Recommend monitoring for future leaks
Floor	<input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal <input type="checkbox"/> Poor <input checked="" type="checkbox"/> Squeaks <input type="checkbox"/> Slopes <input type="checkbox"/> Tripping hazard <input type="checkbox"/> Recommend repair
Ceiling fan	<input type="checkbox"/> None <input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal <input type="checkbox"/> Poor <input type="checkbox"/> Recommend repair/replace
Electrical	Switches: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Receptacles: <input checked="" type="checkbox"/> Yes <input type="checkbox"/> No <input checked="" type="checkbox"/> Operable Open ground/Reverse polarity: <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No <input type="checkbox"/> Safety hazard <input type="checkbox"/> Cover plates missing <input type="checkbox"/> Some outlets/switches not working recommend repair
Heating source present	<input checked="" type="checkbox"/> Yes <input type="checkbox"/> No Holes: <input type="checkbox"/> Doors <input type="checkbox"/> Walls <input type="checkbox"/> Ceilings
Bedroom Egress restricted	<input type="checkbox"/> N/A <input type="checkbox"/> Yes <input checked="" type="checkbox"/> No
Doors	<input type="checkbox"/> None <input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal <input type="checkbox"/> Poor <input type="checkbox"/> Cracked glass <input type="checkbox"/> Broken/Missing hardware <input type="checkbox"/> Recommend repair
Windows	<input type="checkbox"/> None <input checked="" type="checkbox"/> Satisfactory <input type="checkbox"/> Marginal <input type="checkbox"/> Poor <input type="checkbox"/> Cracked glass <input type="checkbox"/> Evidence of leaking insulated glass <input type="checkbox"/> Broken/Missing hardware <input type="checkbox"/> Window not operating recommend repair
Comments	

Kitchen

Countertops

Condition Satisfactory Marginal Recommend repair/caulking

Comments

Cabinets

Condition Satisfactory Marginal Recommend repair/adjustment

Comments

Plumbing

Faucet Leaks Yes No

Pipes leak/corroded Yes No Recommend monitoring for leaks

Sink/Faucet Satisfactory Corroded Chipped Cracked Recommend repair

Functional drainage Satisfactory Marginal Poor Recommend plumber repair

Functional flow Satisfactory Marginal Poor

Comments

Walls & Ceiling

Condition Satisfactory Marginal Poor Typical cracks Moisture stains Recommend repair
 Large cracks

Comments

Ceiling Fan

Condition Satisfactory Marginal Poor Fan out of balance recommend repair N/A

Comments

Heating/Cooling Source

Yes No Heating/cooling source shared with another room

Comments

Floor

Condition Satisfactory Marginal Poor Sloping Squeaks Recommend repair

Comments

Appliances

Disposal N/A Not tested Operable: Yes No Recommend repair

Oven N/A Not tested Operable: Yes No Recommend repair

Range N/A Not tested Operable: Yes No Recommend repair

Dishwasher N/A Not tested Operable: Yes No Recommend repair

Exhaust fan N/A Not tested Operable: Yes No Recommend repair

Refrigerator N/A Not tested Operable: Yes No Recommend repair

Microwave N/A Not tested Operable: Yes No

Dishwasher airgap Yes No

Dishwasher drain line looped Yes No Not visible

Receptacles present Yes No Operable: Yes No

GFCI Yes No Operable: Yes No Recommend GFCI Receptacles: Yes No
 Potential Safety Hazard(s)

Open ground/Reverse polarity: Yes No Potential Safety Hazard Recommend electrician evaluate & repair

Kitchen

Window(s)

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments

Dining Room

Dining Room

Location First floor
NW

Walls & Ceiling Satisfactory Marginal Poor Typical cracks Damage

Moisture stains Yes No
Where:

Floor Satisfactory Marginal Poor Squeaks Slopes Tripping hazard

Ceiling fan None Satisfactory Marginal Poor Recommend repair/replace

Electrical Switches: Yes No Operable Receptacles: Yes No Operable
Open ground/Reverse polarity: Yes No Safety hazard Cover plates missing
 Some switches/outlets not working recommend repair

Heating source present Yes No Holes: Doors Walls Ceilings

Doors None Satisfactory Marginal Poor Cracked glass Broken/Missing hardware

Windows None Satisfactory Marginal Poor Cracked glass Evidence of leaking insulated glass
 Broken/Missing hardware

Comments

Laundry Room

Laundry

Laundry sink N/A Satisfactory Not Tested

Faucet leaks Yes No N/A

Pipes leak Yes No Not Visible None Apparent

Cross connections Yes No Potential Safety Hazard

Heat source present Yes No

Window(s) Satisfactory Marginal Poor Cracked/broken Recommend repair Window not tested

Door Satisfactory Marginal Poor Damaged Recommend repair None

Dryer vented N/A Wall Ceiling Floor Not vented Plastic dryer vent not recommended
 Not vented to exterior Recommend repair Safety hazard Recommend cleaning dryer exhaust

Electrical Open ground/reverse polarity: Yes No Safety hazard

GFCI present Yes No Operable: Yes No Recommend GFCI Receptacles

Appliances Washer Dryer Water heater Furnace/Boiler

Washer hook-up lines/valves Satisfactory Leaking Corroded Not Visible

Gas shut-off valve N/A Yes No Cap Needed Safety hazard Not Visible

Comments

Basement

Stairs

- Condition** Satisfactory Marginal Poor Typical wear and tear Need repair Risers Uneven
 Safety Hazard
- Handrail** Yes No Condition: Satisfactory Loose Handrail/Railing/Balusters recommended
 Recommend repair
- Headway over stairs** Satisfactory Low clearance Safety hazard

Comments

Foundation

- Condition** Satisfactory Marginal Have evaluated Monitor Not Elevated
 Recommend sealing crack(s) and monitoring
 Foundation walls had limited visibility due to storage or were covered Not visible due to covered walls
- Material** ICF Brick Concrete block Stone Masonry Poured concrete wood Not visible
- Horizontal cracks** None North South East West Not visible
- Step cracks** None North South East West Not visible
- Vertical cracks** None North South East West Not visible
- Covered walls** None North South East West
- Movement apparent** None North South East West
- Indication of moisture** Yes No Fresh Old stains

Comments

Floor

- Material** Concrete Dirt/Gravel Not Visible Other: .
- Condition** Satisfactory Marginal Poor Typical cracks Not Visible

Comments

Drainage

- Sump pump** Yes No Working Not working Needs cleaning Pump not tested Crock sealed
 Recommend replacing pump within the next 5 years Not inspected due to sealed crock
- Moisture/ Water** Standing Water: Yes No Evidence of Moisture Damage: Yes No Floor Drains: Yes
 Not Visible Not Tested Appears Satisfactory

Comments

Girders/Beams

- Not Visible
- Condition** Satisfactory Marginal Poor Stained/Rusted Improperly notched recommend repair
- Material** Steel Wood Concrete LVL Not Visible

Comments

Columns

- Not Visible
- Condition** Satisfactory Marginal Poor Stained/Rusted Temporary columns recommend repair
 Column not properly supported recommend repair
- Material** Steel Wood Concrete Block Not Visible

Comments

Basement

Joists

Not Visible

Condition Satisfactory Marginal Poor Improperly notched recommend repair

Material Wood Steel Truss Not Visible 2x8 2x10 2x12 Engineered I-Type
 Sagging/altered joists

Comments

Subfloor

Not Visible

Condition Satisfactory Marginal Poor Indication of moisture stains/rotting

Recommend repair of damaged wood

Comments

Plumbing

Water service

Main shut-off location In the basement

Water entry piping Not Visible Copper/Galv. Plastic Lead

Lead other than solder joints Yes No Unknown Service entry

Visible water distribution piping Copper Galvanized CPVC Plastic PEX Plastic Other: .

Condition Satisfactory Marginal Poor

Flow Satisfactory Marginal Poor Water pressure over 80 psi Recommend plumber evaluate
 Recommend pressure regulator

Pipes Supply/Drain Corroded Leaking Valves broken/missing Dissimilar metal Cross connection: Yes
 No Safety Hazard Recommend repair Recommend a dielectric union Satisfactory

Drain/Waste/Vent pipe Copper Cast iron Galvanized PVC ABS Brass Not Visible

Condition Satisfactory Marginal Poor

Support/Insulation N/A
 Type:

Traps proper P-Type Yes No P-traps recommended

Drainage Satisfactory Marginal Poor

Interior fuel storage system N/A Yes No Leaking: Yes No

Fuel line N/A Copper Brass Black iron Stainless steel CSST Not Visible Galvanized
 Recommend CSST be properly bonded Recommend fuel entry pipe be properly bonded

Condition N/A Satisfactory Marginal Poor Recommend plumber evaluate

Comments Recommend a licensed professional evaluate and properly bond the fuel entry pipe.
 Recommend a licensed professional evaluate and properly ground the water entry pipe.

Main fuel shut-off location

N/A

Location On the side exterior wall

Comments

Sanitary/ Grinder pump (Waste Pump)

N/A Operable: Yes No Not tested

Sealed Crock Sealed crock: Yes No

Check Valve Check valve: Yes No

Shut-off Valve Shut-off valve: Yes No

Vented Yes No

Comments

Water heater #1

N/A

General Brand Name: Rheem
 Serial #: RHLNQ101437513
 Capacity:40
 Approx. age: 1-5+

Type Gas Electric Oil LP Other: .

Combustion air venting present Yes No N/A

Plumbing

Water heater #1 cont.

Relief valve Yes No Extension proper: Yes No Missing Recommend repair
 Improper material

Vent pipe N/A Satisfactory Improper Rusted Recommend repair

Condition Satisfactory Marginal Poor

Comments

Heating System/Air Handler (Interior A/C)

Heating system

- Unit #1** Brand name: Bryant
 Approx. age: 1-5+
 Unknown Model #: 987MA42080V17A-B Serial #: 0813A47929 Satisfactory Marginal Poor
 Recommended HVAC technician examine
- Energy source** Gas LP Oil Electric Solid fuel
- Warm air system** Belt drive Direct drive Gravity Central system Floor/wall furnace
- Heat exchanger** N/A Sealed Not Visible Visual w/mirror Flame distortion Rusted
 Carbon/soot buildup
- Combustion air venting present** N/A Yes No
- Controls** Disconnect: Yes No Normal operating and safety controls observed Gas shut off valve:
 Yes No Recommend installing gas shut-off valve
- Distribution** Metal duct Insulated flex duct Cold air returns Duct board Asbestos-like wrap
 Safety Hazard
- Flue piping** N/A Satisfactory Rusted Improper slope Safety hazard Recommend repair/replace
- Filter** Standard Electrostatic Satisfactory Needs cleaning/replacement Missing
 Electronic (not tested)
- When turned on by thermostat** Fired Did not fire Proper operation: Yes No Not tested
- System not operated due to** N/A Exterior temperature Other: .
- Comments**

Air Handler (Interior A/C)

- N/A System not operated due to outside temperature
- General** Central system Wall unit
 Location: Exterior of house
- Evaporator coil** Satisfactory Not Visible Needs cleaning Damaged
- Refrigerant lines** Leak/Oil present Damage Insulation missing Satisfactory No apparent leaks
- Condensate line/drain** To exterior To pump Floor drain Other: .
- Secondary condensate line/drain** Present: Yes No Needed: Yes No Primary pan appears clogged
 Recommend technician evaluate
- Condition** Satisfactory Marginal Poor Recommend HVAC technician examine/clean/service
 Not operated due to exterior temperature
- Comments**

Electric Panel(s)

Main panel

Location Basement

Adequate Clearance to Panel Yes No

Amperage/Voltage Unknown 60a 100a 150a 200a 400a 120v/240v Other: .

Breakers/Fuses Breakers Fuses Improper breakers installed recommend repair

Appears grounded Yes No Not Visible Recommend grounding

Appears bonded Yes No Not visible Recommend bonding

GFCI breaker Yes No Operable: Yes No Doesn't trip recommend replacement of breaker

AFCI breaker Yes No Operable: Yes No Not Tested Home occupied

Main wire Copper Aluminum Not Visible Double tapping of the main wire Condition: Satisfactory
 Marginal Poor Recommend No-Ox Paste on main wires to prevent corrosion

Branch wire condition Satisfactory Poor Recommend electrician evaluate/repair Romex BX cable
 Conduit Knob/Tube Double tapping Wires undersized/oversized breaker/fuse
 Panel not accessible Not evaluated
Reason:

Branch wire Copper Aluminum Solid Branch Aluminum Wiring Not Visible Safety Hazard

Comments

Electrical Outlets/Switches Open ground Reverse polarity Missing cover plate(s) recommend repair
 Amateur wiring recommend repair Safety hazard Satisfactory

Sub panel(s)

None apparent

Location(s) Location 1: Basement

Location 2:

Location 3:

Evaluation Panel not accessible Not evaluated

Reason:

Recommend electrician separate/isolate neutrals Recommend electrician repair/evaluate box

Branch wire Copper Aluminum Safety hazard Neutral/ground separated: Yes No Neutral isolated:
 Yes No

Condition Satisfactory Marginal Poor

Comments